



Windsor 
CHARTER ACADEMY
GROWING LIFE-LONG LEARNERS





VISION & MISSION

Windsor Charter Academy's vision is "where students are educated, empowered, and equipped to reach their highest potential."

Windsor Charter Academy's mission is "Windsor Charter Academy provides our students with a solid academic foundation through our K-8 Core Knowledge and our rigorous 9-12 early college high school curricula. Our culture empowers our students to achieve academic excellence through critical thinking, character development, and a love for lifelong learning."



ELEMENTARY SCHOOL

680 ACADEMY CT.
WINDSOR, CO
80550

MIDDLE SCHOOL

810 AUTOMATION DR.
WINDSOR, CO
80550

EARLY COLLEGE HIGH SCHOOL

810 AUTOMATION DR.
WINDSOR, CO
80550



FEBRUARY 6, 2023 MINUTES TO BE APPROVED AT THE FEBRUARY 2023 REGULAR SESSION

FEBRUARY 6, 2024 REGULAR SESSION



1.1 Call to Order

The meeting was called to order at 6:03 p.m.

1.2 Roll Call

Executive Board Members Present

Sherry Bartmann, Executive Board President
Elaine Hungenberg, Executive Board Vice-President
Donna James, Executive Board Treasurer
Jenny Ojala, Executive Board Secretary
John Feyen, Executive Board Member
Carolyn Mader, Executive Board Member

Staff Present

Rebecca Teeples, Executive Director
SarahGennie Colazio, Director of Finance & HR

1.3 Pledge of Allegiance

1.4 Mission Statement

Windsor Charter Academy provides our students with a solid academic foundation through our K-8 Core Knowledge and our rigorous 9-12 early college high school curricula. Our culture empowers our students to achieve academic excellence through critical thinking, character development, and a love for lifelong learning.

1.5 Adoption of Agenda

A motion was made to approve the February 2024 Special Session agenda by Feyen and seconded by James. Feyen amended the motion to include Items for Information as 3.0 for a discussion on Bylaw revisions that pertain to Board elections. James seconded the motion. Members voted the following: Hungenberg, aye; Feyen, aye; James, aye; Mader, aye; Ojala, aye; Bartmann, aye. The motion passed unanimously.

2.1 HS Renovation Project

Dr. Teeples summarized the work that had occurred for the high school renovation plan. The first plan included everything that was prioritized by the Board, with additional renovations for the new conference room and the community space for copying. This plan met the budget cap of \$500,000 set by the Executive Board. An additional plan was shared that included the construction of a second restroom in the high school office. The cost for construction for this plan totaled \$520,406. Architect Carol Vaughan and Owner's Representative, Brett Brown, were present to answer questions that the Board had about the two plans.

A motion was made to approve the second plan that included the construction of a second restroom in the high school office for \$520,406 by Feyen and seconded by James. Members voted the following: Hungenberg, nay; Feyen, aye; James, aye; Mader, aye; Ojala, aye; Bartmann, aye. The motion passed.

Bylaw Revisions

Elaine Hungenberg discussed the need to revisit the Bylaws specific to Board elections and candidacy. The Board discussed the history of the Bylaws section on elections. Additional discussions will occur at future Board meetings.

The motion was made by Ojala and seconded by Feyen to adjourn. Members voted the following: Hungenberg, aye; Feyen, aye; James, aye; Mader, aye; Ojala, aye; Bartmann, aye. The motion passed unanimously. The Executive Board adjourned at 8:06 p.m.

2.1 HS RENOVATION PROJECT

Memorandum To:	Windsor Charter Academy Executive Board
From:	Dr. Rebecca Teeples, Executive Director
Date:	February 2, 2024
Re:	HS Renovation Project
Agenda Item:	2.1
Pertinent Background Information:	<p>The Executive Board approved a remodel to the high school for \$500,000. The following priorities were to be included in the remodel plan:</p> <ol style="list-style-type: none">1. Redesign of the high school office2. Creation of a counseling/academic advisement space3. Creation of an additional classroom <p>The Planning Committee was able to meet these priorities and also complete a remodel in the neighborhood area to include a community work space for copying and preparation for classroom instruction, and a conference room for meetings between staff, parents, and community members.</p>
Financial Considerations:	<p>\$500,000 has been designated from reserve funds for the renovation project. A plan has been created that stays under the \$500,000 cap. There is a second option for the Board to consider, which includes the construction of an additional restroom. If included, the construction costs would total \$520,406.</p>
Recommendation(s):	To be discussed
Attachments:	HS Renovation Project

Windsor Charter Academy Early College High School Remodel

810 Automation Drive
Windsor, Colorado

Architect

Carol Vaughan Designs + Architecture, LLC
Carol N Vaughan AIA

5051 Prairie Lark Ln
Severance, Colorado 80615
970.379.7191
www.cnvarchitects.com
carol@cnvdesigns.com

Mechanical & Plumbing Engineer

Integrated MEP
Josh Miller

320 Maple Street, Suite 110
Fort Collins, Colorado 80521
970.556.0570
www.int-mech.com
josh-m@int-mech.com

Structural Engineer

CTL Thompson, Inc.
Wyatt Knutson, PE; Cidne Bernhardt

400 North Link Lane
Fort Collins, CO 80524
970.206.9455
www.ctlt.com
cbernhardt@ctltthompson.com

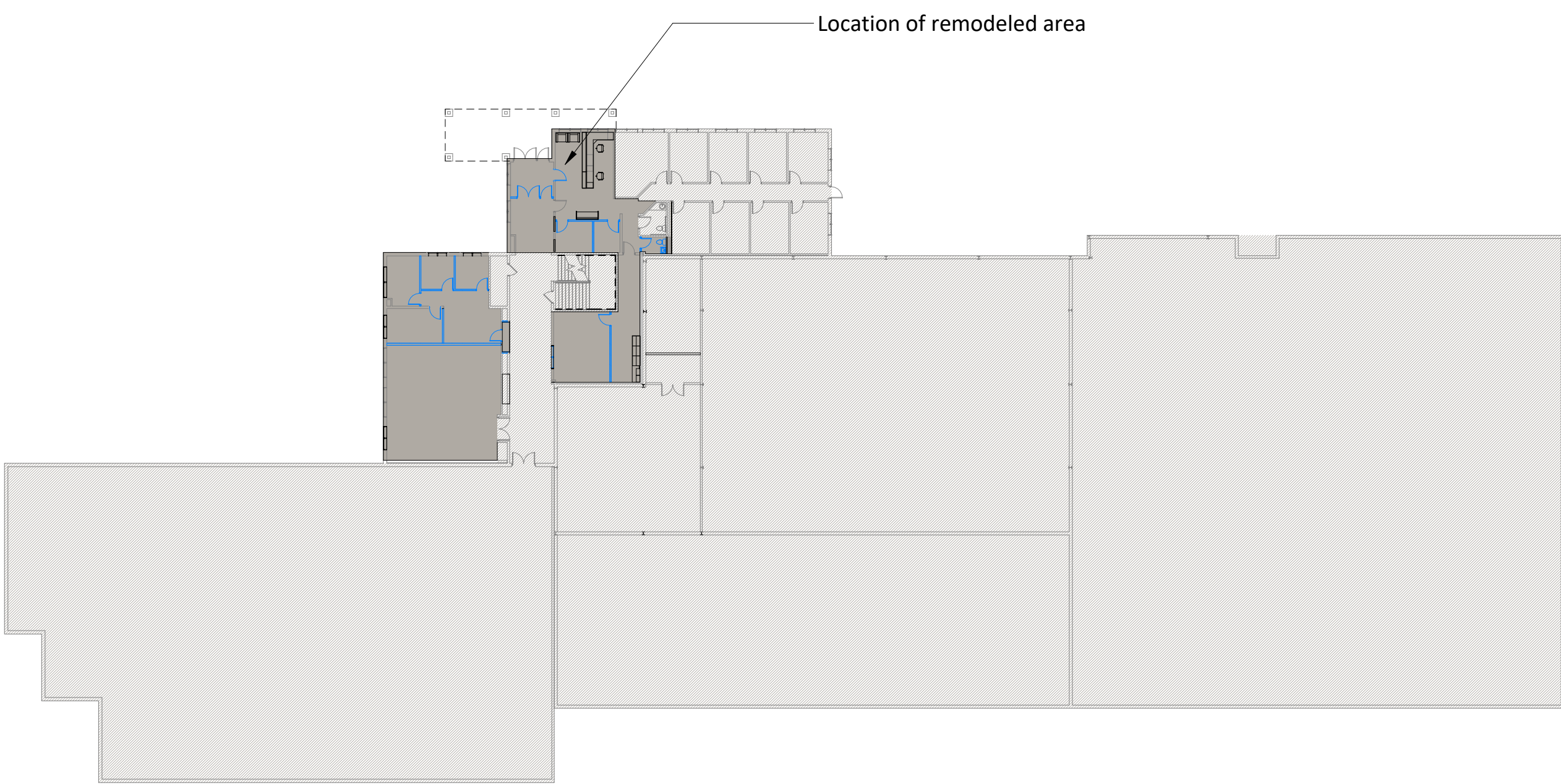
Electrical Engineer

APS, Inc.
Randy Bremmer

7726 Park Ridge Circle
Fort Collins, Colorado 80528
970.206.0269
randyb@apsinc.biz

Sheet Index

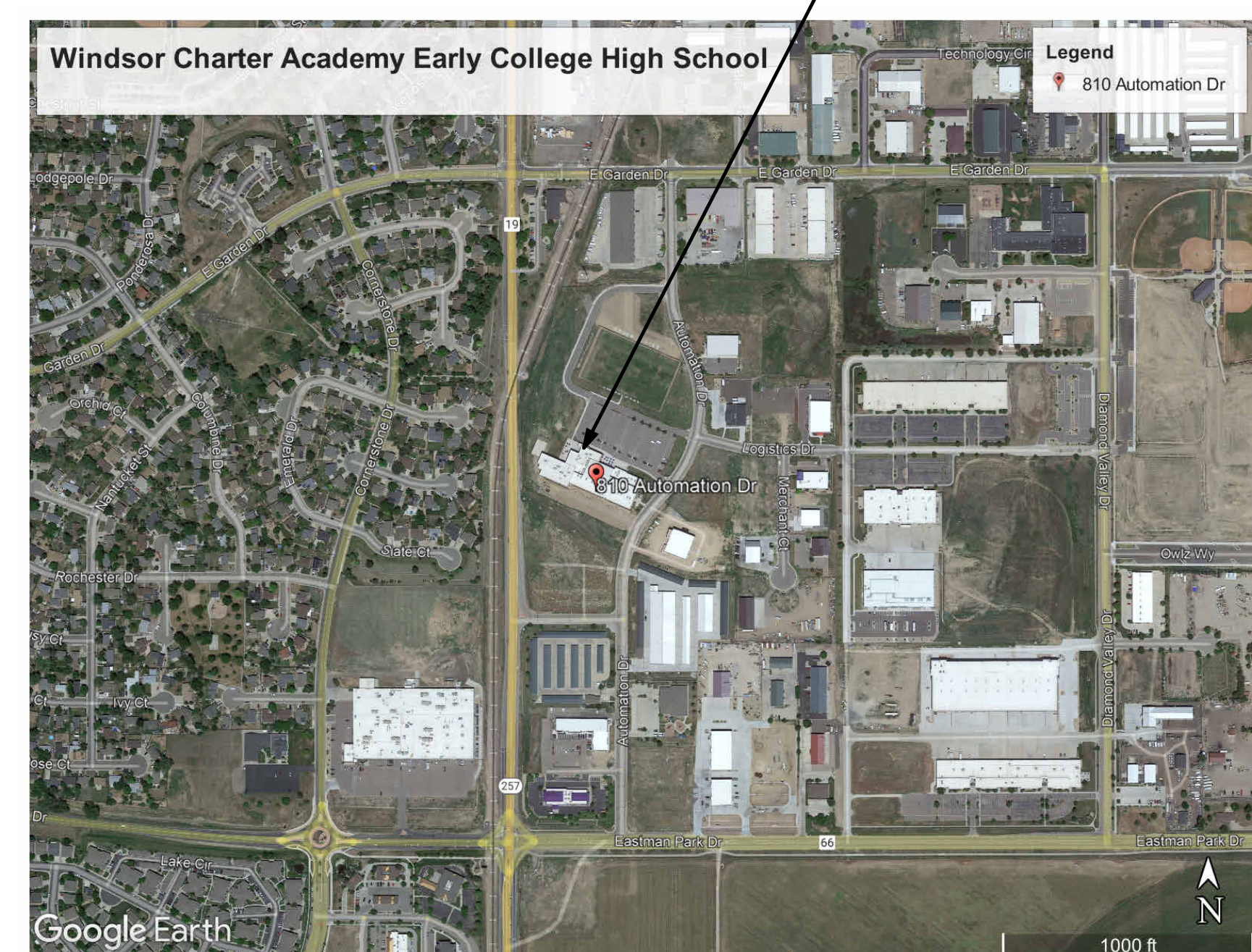
Sheet	Sheet Name	1-19-2024 Schematic Set	4-15-2024 Permit Set			
G000	Cover Sheet	•				
-	-					
-	-					
Architectural						
A100	Demolition Plan & Elevations	•				
A101	New Construction Plan & Interior Elevations	•				
A102	Reflected Ceiling Plan - Demolition & New Construction	•				
A200	Exterior Elevations & Schedules	•				
-	-					
-	-					
Structural						
S.0	General Notes	•				
S.1	Renovation Plan & Structural Details	•				
S.2	Typical Details	•				
Mechanical						
H0.1	HVAC Notes, Legend, Index	•				
H1.1	HVAC Demo Floor Plan	•				
H2.1	HVAC Floor Plan	•				
H8.1	HVAC Schedules and Details	•				
Plumbing						
P0.1	Plumbing Notes, Legend, Index	•				
P2.1	Plumbing Floor Plan	•				
P8.1	Plumbing Schedules & Details	•				
Electrical						
E0	Legend, Specifications, Electrical Drawing Index	•				
ED.1	Electrical Demolition Plan	•				
E1.1	Electrical Lighting Plan	•				
E2.1	Electrical Power Plan	•				
E3.1	Electrical One-Line Diagrams & Schedules	•				



Key Plan



Vicinity Map



Architectural Symbols

Grid Line ②	Floor level FF 100.0'	Wall type wall type number 0
Section cut Drawing number A3.0 Sheet number 1	Room name ROOM NAME room number 000	Ceiling type ceiling type number C0
Elevation level building element elevation dimension OBJECT "X-X"	Interior elevation Drawing number A00 Sheet number NO.	Window callout A
Elevation mark Drawing number A3.0 Sheet number 1	Detail Drawing number A4.1 Sheet number 1 Plan	Door callout 1
		Material type 0

Project Description

Project is a remodel of an approximately 3,295 square foot area located in the Windsor Charter Academy Early College High School building at 810 Automation Drive, Windsor, Colorado. The existing building is a two-story concrete block and structural steel building. The proposed remodeled area is located on the ground level.

The proposed remodeled space will include Reception Area/Front Desk, In School Suspension Area, (1) Work Area, Restroom, Community Area/Copy Area, Conference Room, Classroom, Student Mental Health Waiting Area, (3) Offices and Student Meeting Room.

Jurisdiction: Town of Windsor, Colorado and State of Colorado
Construction type: Existing building - Type II-B (not one hour construction)
Occupancy: E (Education)
Remodel Area: 3,295 square feet
Fire Suppression: Existing automatic sprinklered



Outside Storage door - Demolition



HS Commons north door - Demolition



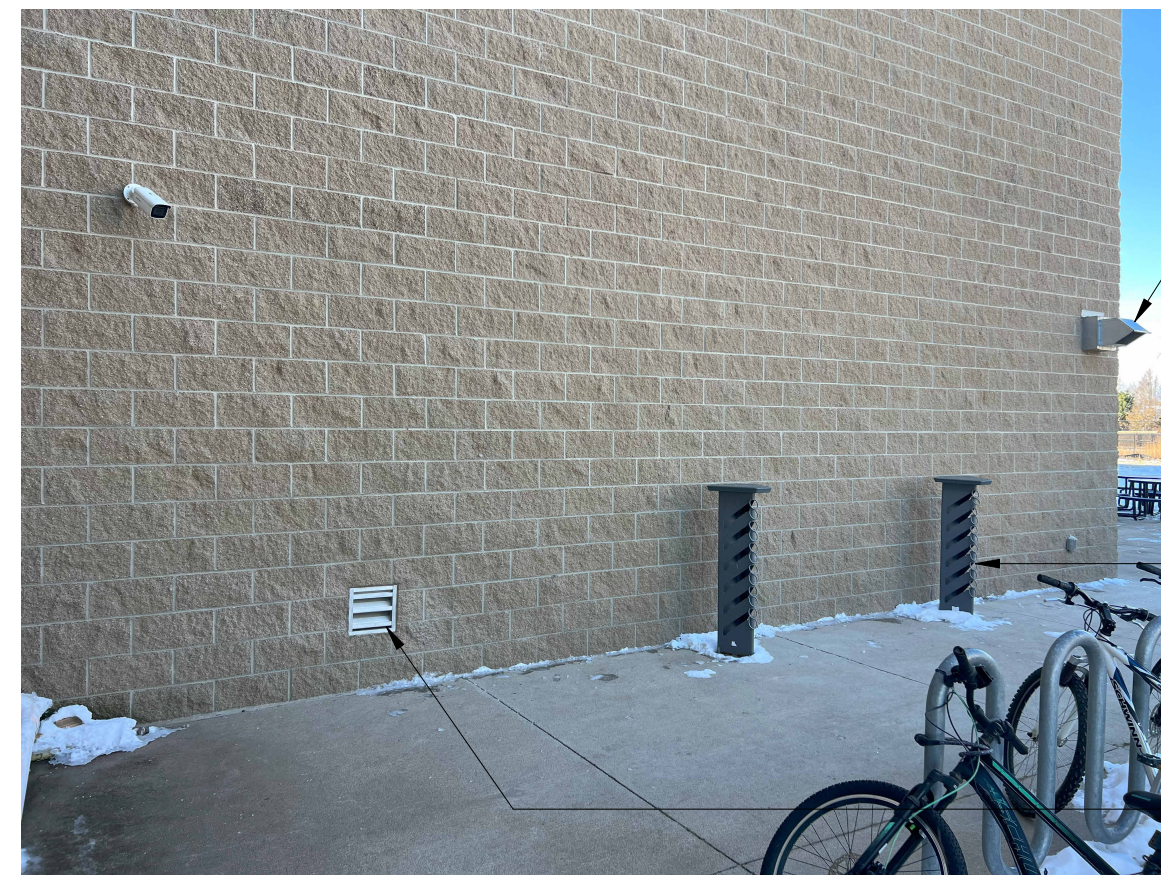
HS Commons south door - Demolition

Wall Symbol Legend	
Symbol	Description
	Existing wall
	Wall to be removed
	New wall up to floor deck above. Unless noted otherwise.
	Single leaf door, frame and hardware to be removed or relocated. All equipment to remain in Owner's possession.
	Double leaf door, frame and hardware to be removed or relocated. All equipment to remain in Owner's possession.
	Storefront window unit to be removed. All equipment to remain in Owner's possession.

- | Demolition Notes | |
|------------------|--|
| 1. | Contractor and subcontractors shall familiarize themselves with the existing conditions. Contractor shall not commence work until they thoroughly understand the scope of work required for construction. |
| 2. | Items that are salvageable are the property of the Owner and shall be protected and stored according to the building owner. Existing materials to be reused shall be stored in an area where they will not be damaged. |
| 3. | All switches, receptacles, plates, etc. to be removed or relocated shall be completely removed and abandoned conduit and wiring stripped back to the source. |
| 4. | Patch and and repair existing floors, walls, doors and partitions that become damaged during construction to the level of finish specified in the construction documents. |
| 5. | All new walls to extend to bottom of 2 Level floor deck, unless noted otherwise. |
| 6. | If Owner-furnished items are damaged as a result of Contractor's operations, Contractor shall repair or replace them. |
| 7. | Refer Mechanical, Plumbing and Electrical for demolition notes. |



Vestibule - Demolition



North Elevation - Demolition

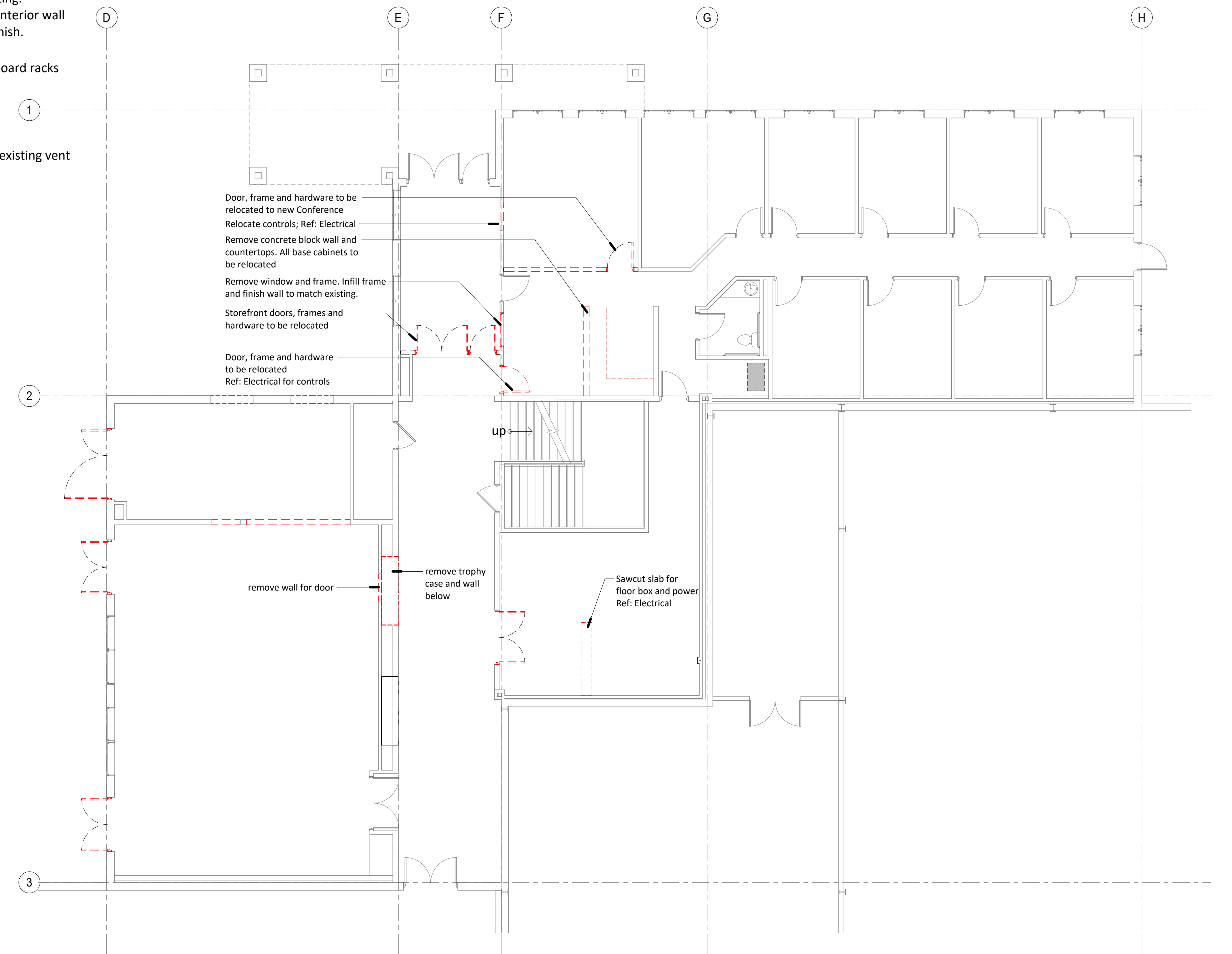
- Remove fan unit
Cover opening with louvered vent to match existing.
Paint to match existing.
Insulate and patch interior wall to match existing finish.
- Relocate (2) skate board racks
- Match new vent to existing vent



Trophy Case - Demolition



Neighborhood Area door - Demolition



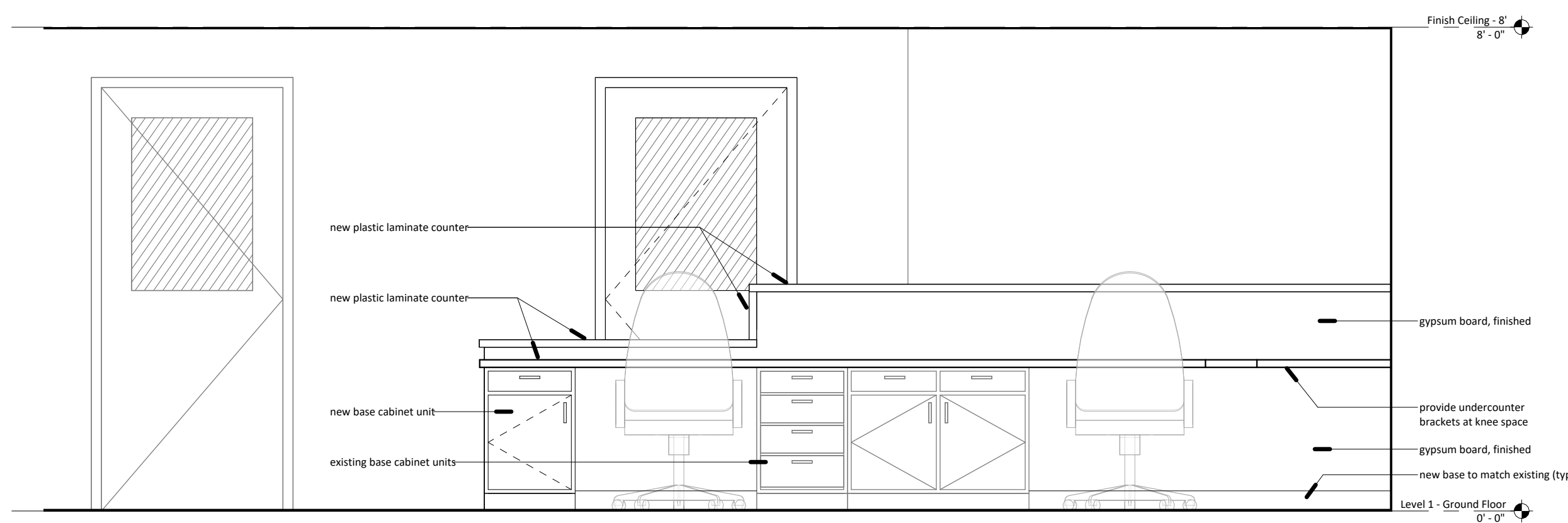
Front Desk - Demolition



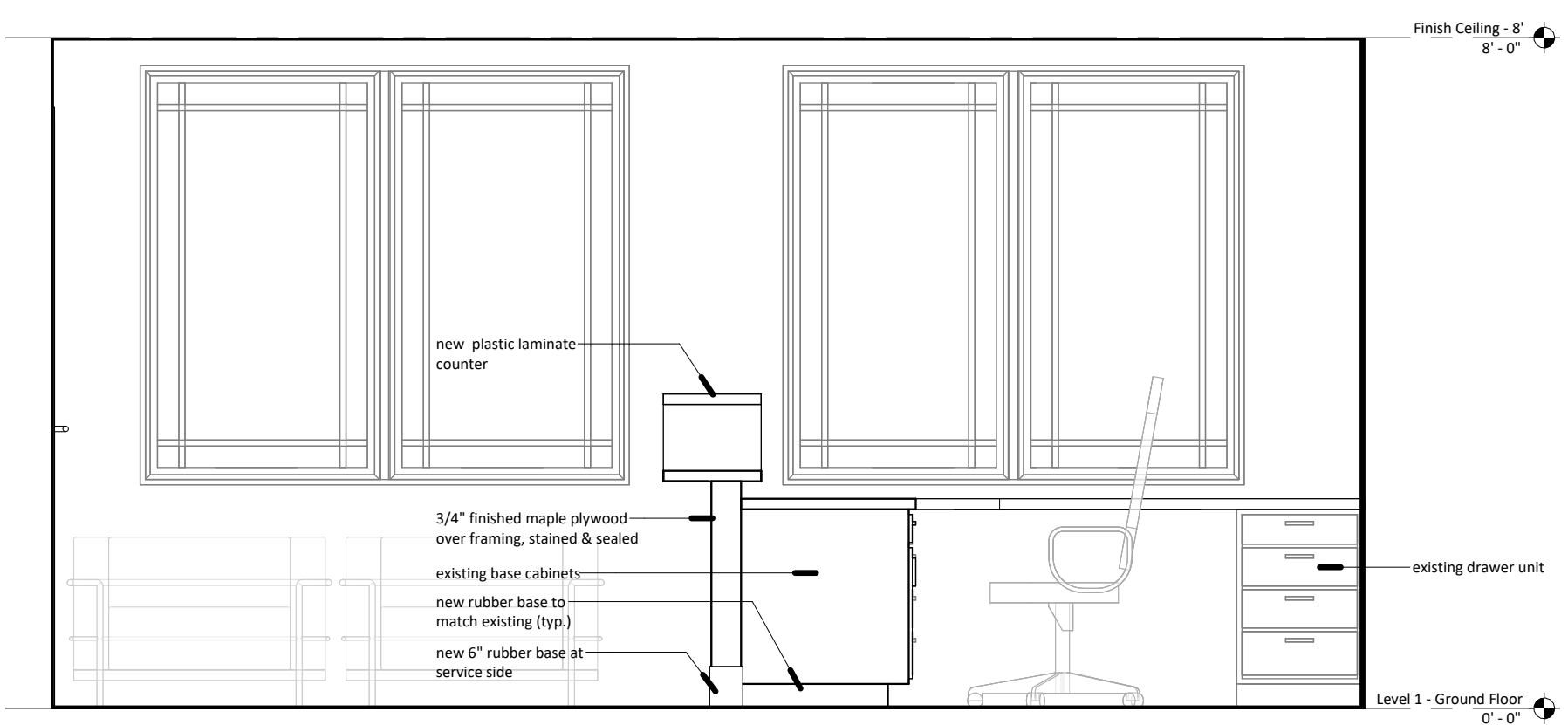
Relocate existing base cabinet units

1 Demolition Plan
scale: 1/8" = 1'-0"

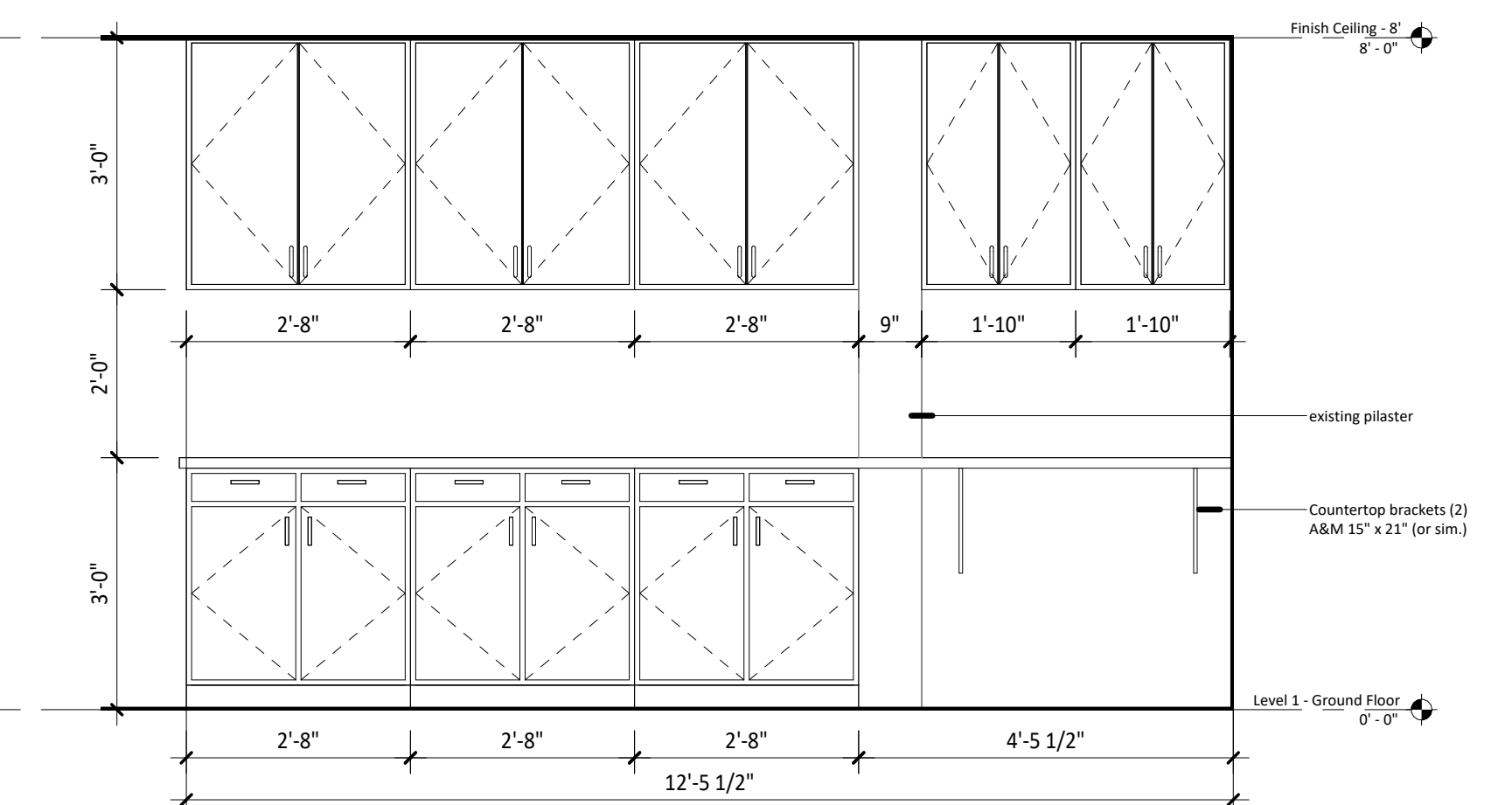




3 Front Desk - West
scale: 1/2" = 1'-0"



4 Front Desk - North
scale: 1/2" = 1'-0"



2 Interior Elevation - Community Area
scale: 1/2" = 1'-0"

General Notes:

- All work completed to meet or exceed applicable codes listed on Project Code Analysis as required by the Town of Windsor and State of Colorado municipal codes.
- These plans are for Architectural, Electrical, Mechanical and Plumbing. Fire Suppression and Fire Alarm plans are design-build by the Contractor.
- All dimensions must be verified on site by the Contractor and Subcontractors. All interior dimensions are to face of stud unless noted otherwise.
- The Contractor shall notify the Architect immediately should any discrepancies be found in the drawings and specifications.
- The Contractor shall coordinate locations of Electrical, Mechanical and Plumbing equipment with Architect and Owner.
- Prior to construction, the Contractor shall walk through and inspect existing site conditions. Contractor is responsible for all repairs and replacement of items damaged during construction.
- Install all equipment and materials as per manufacturer's specifications.
- Contractor to be responsible for arranging all inspections required by the Town of Windsor and State of Colorado prior to covering any such portions of work.
- Entrances/Exits, walkways and other areas in the vicinity of the construction site that are used by the public shall be protected from falling or projecting objects. Construction equipment, materials and construction activity shall not impede emergency building evacuation.
- Contractor may propose bid alternates. Alternates will be evaluated by the Architect and Owner.
- Contractor shall submit written, graphic and physical samples to the Architect that require responsive action. All interior finishes require the Architect's responsive action.
- Install all equipment and materials as per manufacturer's specifications.
- Protect existing landscaping, structures, utilities and equipment on the property.

EXTERIOR WALL

- Insulation: New exterior walls to have R-11.4ci.

PARTITIONS

- Partition studs to be 20 gauge c-studs with a min. 1 1/4" flange. Refer to Sheet S.O.
- Deflection limit = l/360. Design load specified on Sheet S.O.
- Provide lateral bracing on full height walls as specified in AISI S100. At bridging, span between anchor studs, do not splice. Attach with clip angle screwed to stud.
- All new partitions to be full height to bottom of floor deck above.
- Provide sound batt insulation in all new partitions.
- Provide control joint in partitions exceeding 30'. Coordinate location with Architect.
- Provide blocking for equipment, cabinetry and Owner supplied equipment. Coordinate location of equipment and cabinetry with Architect and Owner.
- Partition between restrooms and Office 176: Contractor to verify insulation in existing partition. If partition does not have insulation, provide spray foam insulation in cavity. Provide new Sound Partition as noted on plans.
- New partitions to be finished to match existing walls. Paint color to be determined.

ELECTRICAL

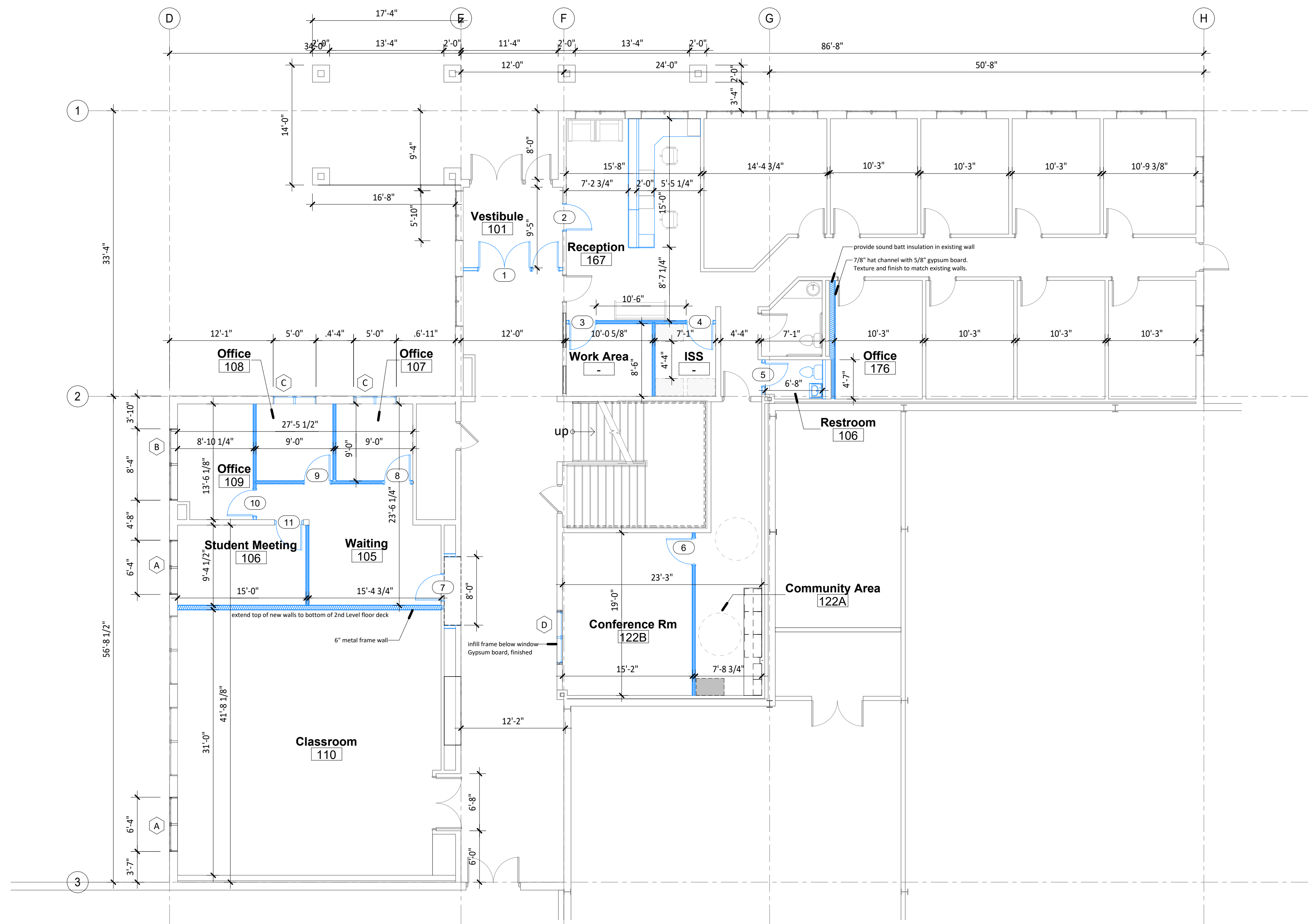
- All switches, convenience receptacles, and plates shall match existing.
- All light fixtures and controls to match existing, unless noted otherwise on plans.
- Refer to Electrical plans.

PLUMBING

- All new plumbing equipment to be a similar match to existing equipment, unless noted otherwise on plans.
- Provide (1) new wall mirror in Restroom that is a comparable match to the existing restroom mirror. Minimum size 24" x 42".
- Paper towel dispenser, toilet paper dispenser, feminine waste receptacle, soap dispenser and trash receptacle by Owner.

FINISHES

- New interior finishes to match existing finishes.
- Flooring - All new areas, other than Restroom, to have broadloom carpet and base to match existing. New Restroom to have vinyl flooring to match existing Restroom.
- Walls - All new walls to be gypsum board, finished and painted to match existing. Paint colors TBD. Restroom walls to have tile to match existing Restroom.



1 New Construction Plan
scale: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO.
2024-01
DRAWN BY
Author
ISSUE DATES
Schematic Design 1/19/24

SHEET CONTENTS

SD Floor Plan
New
Construction

DRAWING NO.

**Windsor Charter Academy High School Renovation
2/1/23 Budget**

		Board-Approved Plan at \$500,00	Construction Plan that Exceeds \$500,000
Item		Cost	Cost
Building Permit		\$ 12,000.00	\$ 12,000.00
SD Design		\$ 35,505.00	\$ 35,505.00
CD Design		\$ 31,700.00	\$ 31,700.00
Contract Admin Tier 1		\$ 12,000.00	\$ 12,000.00
Owners Rep		\$ 15,000.00	\$ 15,000.00
General Requirements		\$ 44,676.00	\$ 49,676.00
Reception		\$ 63,231.00	\$ 63,231.00
Student Mental Health		\$ 100,981.00	\$ 100,981.00
Classroom		\$ 38,914.00	\$ 38,914.00
Conference Room		\$ 22,693.00	\$ 22,693.00
Community Area		\$ 17,181.00	\$ 17,181.00
Restroom			\$ 28,096.00
Insurance & Misc.		\$ 4,978.00	\$ 4,978.00
Contractor Fee	8%	\$ 28,231.32	\$ 30,479.00
Design Escalation Contingency		\$ 13,335.00	\$ 13,335.00
Contractor Contingency		\$ 11,430.00	\$ 11,430.00
Structured Cabling & A/V		\$ 3,750.00	\$ 3,750.00
Owner Contingency	6%	<u>\$ 27,336.32</u>	<u>\$ 29,456.94</u>
Project Total		\$ 482,941.64	\$ 520,405.94
Not Included in Budget:			
P&P Bond		\$ 4,100.00	\$ 4,100.00
Spec Book		\$ 8,625.00	\$ 8,625.00
As Built		\$ 7,050.00	\$ 7,050.00
Contract Admin Tier 2		\$ 13,110.00	\$ 13,110.00
Note: FFE is not part of construction costs			

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
Estimate Name: SD Estimate | Overall Summary
Client Name: Windsor Charter Academy
Heated SF: 3,320
Site SF: 0
Duration: 2.25 Months



Estimate Summary

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
1 Front Desk Reception					\$63,231
2 Student Mental Health					\$100,981
3 Classroom					\$38,914
4 Conference Room					\$22,693
5 Community Area					\$17,181
6 Restroom					\$28,096
7 Precon, General Conditions & Allowances					\$49,676
DIRECT COST SUBTOTAL					\$320,771

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Overall Summary
 Client Name: Windsor Charter Academy
 Heated SF: 3,320
 Site SF: 0
 Duration: 2.25 Months



Estimate Summary

Direct Cost Subtotal: \$ 320,771

Estimate Markup's

Description	Amount	Rate
State Sales:	\$342	2.900 %
Small tools:	\$2,289	3.750 %
Builders Risk:	\$680	0.179 %
General Liability:	\$1,667	0.438 %
Design Contingency Allowance:	\$13,335	3.500 %
Contractor Contingency:	\$11,430	3.000 %
Fee:	\$30,479	8.000 %
Grand Total:	\$380,992	\$114.75 / Heated SF

Notes

- >Excludes weekend or after hour work.
- >Excludes P&P Bond. Add ~\$4,100 if required.
- >Excludes low volt door hardware, card readers, & electric strikes.
- >Excludes wireless access points & wiring.
- >Excludes security camera's & wiring.
- >Excludes Fire Alarm (except conduits).
- >Excludes permits & Fees.
- >Excludes structural modifications beyond new steel lintels.

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Front Desk Reception
 Client Name: Windsor Charter Academy
 Heated SF: 990
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
02 00 00 Existing Conditions					\$6,015
02 41 00 Demolition					\$6,015
02 41 13 Demolition	990	hsf	\$6.08	\$6,015	
03 00 00 Concrete					\$750
03 32 00 Concrete Slabs					\$750
03 31 10 Concrete Patchback for Trench	1	ls	\$750.00	\$750	
07 00 00 Thermal and Moisture Protection					\$908
07 19 00 Barriers & Repellents					\$495
07 19 15 Unit Air Sealing Blower Door Prep	990	hsf	\$0.50	\$495	
07 21 00 Thermal Insulation					\$413
07 21 01 Sound Batts Office Walls	413	asf	\$1.00	\$413	
08 00 00 Openings					\$5,811
08 12 00 Doors, Frames & Hardware					\$3,922
08 12 05 New Commercial Doors, Frames & Hardware	2	ea	\$1,701.00	\$3,402	
08 12 05 Reinstall Commercial Doors, Frames & Hardware	2	ea	\$260.00	\$520	
08 43 00 Storefronts					\$1,625
08 43 05 Remove & Reinstall (3) Storefront Vestibule Doors	1	ls	\$1,625.00	\$1,625	
08 81 00 Glass Glazing					\$264
08 81 20 New Half Door Lites	12	asf	\$22.00	\$264	
09 00 00 Finishes					\$24,557
09 21 00 Gypsum Board Systems					\$14,365
09 21 20 Metal Framing & Drywall	488	asf	\$26.90	\$13,128	
09 21 25 Acoustical Sealant Allowance	990	asf	\$1.25	\$1,237	
09 51 00 Acoustical Ceilings					\$2,756
09 51 01 Acoustical Panel Ceilings New	644	asf	\$4.28	\$2,756	
09 61 00 Flooring					\$4,926
09 61 38 New Carpet	116	sy	\$40.00	\$4,640	
09 61 14 New Rubber Base	143	lf	\$2.00	\$286	
09 91 00 Painting					\$2,014
09 91 23 Paint Existing Walls (2) Coats	1,243	asf	\$0.90	\$1,119	
09 91 23 Paint New Walls (2) Coats with (1) Primer Coat	746	asf	\$1.20	\$896	
09 98 00 Final Cleaning					\$495
09 98 01 Final Cleaning	990	hsf	\$0.50	\$495	
12 00 00 Furnishings					\$14,981
12 32 00 Manufactured Casework					\$14,981
12 32 05 Metal Stud Die Wall Reception Desk	1	ls	\$1,500.00	\$1,500	
12 32 05 Reception Desk	1	ls	\$13,481.00	\$13,481	
12 32 05 Plastic Laminate Lower Cabinets Reception Desk	22	lf		Included	
12 36 23 Plastic Laminate Countertops Reception Desk	58	asf		Included	

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Front Desk Reception
 Client Name: Windsor Charter Academy
 Heated SF: 990
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
12 32 10 Maple Veneer at Front Face of Die Wall	45	asf		Included	
21 00 00 Fire Suppression					\$1,050
21 13 00 Fire-Suppression Sprinkler Systems					\$1,050
21 13 13 Relocate Vestibule Heads	3	ea	\$350.00	\$1,050	
23 00 00 Heating, Ventilating, and Air Conditioning					\$800
23 01 00 Heating, Ventilating, and Air Conditioning					\$800
23 01 10 HVAC Rework and Air Balance for New Layout	1	ls	\$800.00	\$800	
26 00 00 Electrical					\$8,359
26 01 00 Electrical & Low Voltage					\$8,359
26 01 30 Electrical & Lighting	1	ls	\$8,358.94	\$8,359	
26 01 30 Data Systems CAT6	0			Included	
26 01 30 Security System	0			Excluded	
26 01 50 Fire Alarm	0			Excluded	
DIRECT COST SUBTOTAL					\$63,231

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Student Mental Health
 Client Name: Windsor Charter Academy
 Heated SF: 767
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
02 00 00 Existing Conditions					\$11,690
02 41 00 Demolition					\$11,690
02 41 13 Demolition	767	hsf	\$15.24	\$11,690	
03 00 00 Concrete					\$750
03 32 00 Concrete Slabs					\$750
03 31 10 CMU Wall Patchback	1	ls	\$750.00	\$750	
04 00 00 Masonry					\$11,324
04 21 00 Unit Masonry					\$11,324
04 21 15 Masonry - Grout Jambes	2	ea	\$1,500.00	\$3,000	
04 21 15 Masonry - Infill	2	ea	\$3,162.00	\$6,324	
04 21 15 CMU - 4" Veneer	49	asf		Included	
04 21 45 Grout Jambes at New Openings	36	lf		Included	
04 21 15 Tooth in Openings Allowance	2	ea	\$1,000.00	\$2,000	
<i>Lower portion of existing door opening CMU infill.</i>					
05 00 00 Metals					\$4,725
05 59 00 Metal Specialties					\$4,725
05 59 10 Lintels New Opening Headers	18	lf	\$262.50	\$4,725	
<i>Option 1: 4 - 6 x 3 1/2 x 3/8 lintels with 1/8 x 8 full length cover plate with 1" all thread thru bolts.</i>					
06 00 00 Wood, Plastics, and Composites					\$520
06 46 00 Finish Carpentry					\$520
06 46 01 Finish Carpentry MDF Window Sills	0	lf	\$INF	\$520	
07 00 00 Thermal and Moisture Protection					\$1,235
07 19 00 Barriers & Repellents					\$383
07 19 15 Unit Air Sealing Blower Door Prep	767	hsf	\$0.50	\$383	
07 21 00 Thermal Insulation					\$852
07 21 01 Sound Batts Office Walls	552	asf	\$1.00	\$552	
07 21 01 R21 Exterior Wall Batts	44	asf	\$6.80	\$300	
08 00 00 Openings					\$18,978
08 12 00 Doors, Frames & Hardware					\$8,505
08 12 05 New Commercial Doors, Frames & Hardware	5	ea	\$1,701.00	\$8,505	
08 43 00 Storefronts					\$9,813
08 43 10 Aluminum-Framed Storefronts 6" Exterior	124	asf	\$78.60	\$9,713	
08 52 40 Window Offloading, Staging, Handling	5	ea	\$20.00	\$100	
08 81 00 Glass Glazing					\$660
08 81 20 Door Lites	30	asf	\$22.00	\$660	
09 00 00 Finishes					\$24,776
09 21 00 Gypsum Board Systems					\$12,063
09 21 20 Metal Framing & Drywall	717	asf	\$15.49	\$11,104	

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Student Mental Health
 Client Name: Windsor Charter Academy
 Heated SF: 767
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
09 21 25 Acoustical Sealant Allowance	767	asf	\$1.25	\$959	
09 51 00 Acoustical Ceilings					\$3,323
09 51 01 Acoustical Panel Ceilings New	683	asf	\$4.87	\$3,323	
09 61 00 Flooring					\$3,836
09 61 38 New Carpet	90	sy	\$40.00	\$3,600	
09 61 14 New Rubber Base	118	lf	\$2.00	\$236	
09 91 00 Painting					\$5,170
09 91 23 Painting Interior	1	ls	\$5,170.00	\$5,170	
09 98 00 Final Cleaning					\$384
09 98 01 Final Cleaning	0	hsf	\$INF	\$384	
21 00 00 Fire Suppression					\$2,100
21 13 00 Fire-Suppression Sprinkler Systems					\$2,100
21 13 13 Relocate (6) Sprinkler Heads	1	ls	\$2,100.00	\$2,100	
23 00 00 Heating, Ventilating, and Air Conditioning					\$14,575
23 01 00 Heating, Ventilating, and Air Conditioning					\$14,575
23 01 10 HVAC New Ductless Heatpump System	1	ls	\$14,575.00	\$14,575	
26 00 00 Electrical					\$10,307
26 01 00 Electrical & Low Voltage					\$10,307
26 01 30 Electrical & Lighting	1	ls	\$10,307.36	\$10,307	
26 01 30 Data Systems CAT6	0			Included	
26 01 30 Security System	0			Excluded	
26 01 50 Fire Alarm	0			Excluded	
DIRECT COST SUBTOTAL					\$100,981

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Classroom
 Client Name: Windsor Charter Academy
 Heated SF: 0
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
02 00 00 Existing Conditions					\$3,200
02 41 00 Demolition					\$3,200
02 41 13 Demolition	1	ls	\$3,200.00	\$3,200	
04 00 00 Masonry					\$4,162
04 21 00 Unit Masonry					\$4,162
04 21 15 Masonry - Infill	1	ea	\$3,162.00	\$3,162	
04 21 15 CMU - 4" Veneer	21	asf		Included	
04 21 45 Grout Jambs at New Openings	14	lf		Included	
04 21 15 Tooth in Openings Allowance	1	ea	\$1,000.00	\$1,000	
<i>Lower portion of existing door opening CMU infill.</i>					
06 00 00 Wood, Plastics, and Composites					\$130
06 46 00 Finish Carpentry					\$130
06 46 01 Finish Carpentry MDF Window Sills	0	lf	\$INF	\$130	
07 00 00 Thermal and Moisture Protection					\$1,156
07 19 00 Barriers & Repellents					\$517
07 19 15 Unit Air Sealing Blower Door Prep	1,035	hsf	\$0.50	\$517	
07 21 00 Thermal Insulation					\$639
07 21 01 Sound Batts Office Walls	339	asf	\$1.00	\$339	
07 21 01 R-21 Batt Infill at Exterior Wall	18	asf	\$16.67	\$300	
08 00 00 Openings					\$2,514
08 43 00 Storefronts					\$2,514
08 43 10 Aluminum-Framed Storefronts 6" Exterior	32	asf	\$78.60	\$2,494	
08 52 40 Window Offloading, Staging, Handling	1	ea	\$20.00	\$20	
09 00 00 Finishes					\$16,438
09 21 00 Gypsum Board Systems					\$8,175
09 21 20 Metal Framing & Drywall	419	asf	\$17.97	\$7,528	
09 21 25 Acoustical Sealant Allowance	1,035	asf	\$0.63	\$647	
09 51 00 Acoustical Ceilings					\$840
09 51 01 Acoustical Panel Ceilings - Patch	123	asf	\$6.82	\$840	
09 61 00 Flooring					\$5,352
09 61 38 New Carpet	127	sy	\$40.00	\$5,080	
09 61 14 New Rubber Base	136	lf	\$2.00	\$272	
09 91 00 Painting					\$1,554
09 91 23 Paint Existing Walls (2) Coats	1,193	asf	\$0.90	\$1,074	
09 91 23 Paint New Walls (2) Coats with (1) Primer Coat	400	asf	\$1.20	\$480	
09 98 00 Final Cleaning					\$518
09 98 01 Final Cleaning	1,035	hsf	\$0.50	\$518	
12 00 00 Furnishings					\$5,520
12 32 00 Manufactured Casework					\$4,200

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Classroom
 Client Name: Windsor Charter Academy
 Heated SF: 0
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
12 32 05 Plastic Laminate Lower Cabinets Allowance	12	lf	\$350.00	\$4,200	
12 36 00 Countertops					\$1,320
12 36 23 Plastic Laminate Countertops Allowance	24	asf	\$55.00	\$1,320	
21 00 00 Fire Suppression					\$1,400
21 13 00 Fire-Suppression Sprinkler Systems					\$1,400
21 13 13 Add (3) Sprinkler Heads and Relocate (1) Sprinkler Head	1	ls	\$1,400.00	\$1,400	
26 00 00 Electrical					\$4,393
26 01 00 Electrical & Low Voltage					\$4,393
26 01 30 Electrical & Low Voltage	1	ls	\$4,393.11	\$4,393	
26 01 30 Data Systems CAT6	0			Included	
26 01 30 Security System	0			Excluded	
26 01 50 Fire Alarm	0			Excluded	
DIRECT COST SUBTOTAL					\$38,914

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Conference Room
 Client Name: Windsor Charter Academy
 Heated SF: 308
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
02 00 00 Existing Conditions					\$2,610
02 41 00 Demolition					\$2,610
02 41 13 Demolition	308	asf	\$8.49	\$2,610	
03 00 00 Concrete					\$750
03 32 00 Concrete Slabs					\$750
03 31 10 Concrete Patchback for Trench	1	ls	\$750.00	\$750	
07 00 00 Thermal and Moisture Protection					\$406
07 19 00 Barriers & Repellents					\$154
07 19 15 Unit Air Sealing Blower Door Prep	308	hsf	\$0.50	\$154	
07 21 00 Thermal Insulation					\$252
07 21 01 Sound Batts Office Walls	252	asf	\$1.00	\$252	
08 00 00 Openings					\$2,984
08 12 00 Doors, Frames & Hardware					\$260
08 12 05 Reinstall Commercial Doors, Frames & Hardware	1	ea	\$260.00	\$260	
08 43 00 Storefronts					\$2,064
08 43 05 Interior Type D Storefront Window 4"	26	asf	\$78.60	\$2,044	
08 52 40 Window Offloading, Staging, Handling	1	ea	\$20.00	\$20	
08 81 00 Glass Glazing					\$660
08 81 20 Door Lites	6	asf	\$22.00	\$132	
08 81 25 Interior Window Glazing	24	asf	\$22.00	\$528	
09 00 00 Finishes					\$6,964
09 21 00 Gypsum Board Systems					\$3,982
09 21 20 Metal Framing & Drywall	290	asf	\$12.41	\$3,598	
09 21 25 Acoustical Sealant Allowance	308	asf	\$1.25	\$384	
09 51 00 Acoustical Ceilings					\$477
09 51 01 Acoustical Panel Ceilings - Patch	76	asf	\$6.27	\$477	
09 61 00 Flooring					\$1,661
09 61 38 New Carpet	38	sy	\$40.00	\$1,520	
09 61 14 New Rubber Base	70	lf	\$2.00	\$141	
09 91 00 Painting					\$690
09 91 23 Painting Interior	1	ls	\$690.00	\$690	
09 98 00 Final Cleaning					\$154
09 98 01 Final Cleaning	1,035	hsf	\$0.15	\$154	
12 00 00 Furnishings					\$0
12 32 00 Manufactured Casework					\$0
12 32 05 Plastic Laminate Lower Cabinets	17	lf		Excluded	
12 36 00 Countertops					\$0
12 36 23 Plastic Laminate Countertops Reception Desk	34	asf		Excluded	
21 00 00 Fire Suppression					\$700

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Conference Room
 Client Name: Windsor Charter Academy
 Heated SF: 308
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
21 13 00 Fire-Suppression Sprinkler Systems					\$700
21 13 13 Add (2) Sprinkler Heads	2	ea	\$350.00	\$700	
23 00 00 Heating, Ventilating, and Air Conditioning					\$600
23 01 00 Heating, Ventilating, and Air Conditioning					\$600
23 01 10 HVAC Rework and Air Balance for New Layout	1	ls	\$600.00	\$600	
26 00 00 Electrical					\$7,679
26 01 00 Electrical & Low Voltage					\$7,679
26 01 30 Electrical & Low Voltage	1	ls	\$7,679.08	\$7,679	
26 01 30 Data Systems CAT6	0			Included	
26 01 30 Security System	0			Excluded	
26 01 50 Fire Alarm	0			Excluded	
DIRECT COST SUBTOTAL					\$22,693

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Community Area
 Client Name: Windsor Charter Academy
 Heated SF: 105
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
02 00 00 Existing Conditions					\$540
02 41 00 Demolition					\$540
02 41 13 Demolition	1	ls	\$540.00	\$540	
07 00 00 Thermal and Moisture Protection					\$52
07 19 00 Barriers & Repellents					\$52
07 19 15 Unit Air Sealing Blower Door Prep	105	hsf	\$0.50	\$52	
09 00 00 Finishes					\$2,735
09 21 00 Gypsum Board Systems					\$710
09 21 20 Metal Framing & Drywall	1	ls	\$579.00	\$579	
09 21 25 Acoustical Sealant Allowance	105	asf	\$1.25	\$131	
09 51 00 Acoustical Ceilings					\$628
09 51 01 Acoustical Panel Ceilings - Patch	77	asf	\$8.16	\$628	
09 61 00 Flooring					\$604
09 61 38 New Carpet	13	sy	\$40.00	\$520	
09 61 14 New Rubber Base	42	lf	\$2.00	\$84	
09 91 00 Painting					\$740
09 91 23 Painting Interior	1	ls	\$740.00	\$740	
09 98 00 Final Cleaning					\$53
09 98 01 Final Cleaning	1,035	hsf	\$0.05	\$53	
12 00 00 Furnishings					\$6,488
12 32 00 Manufactured Casework					\$6,488
12 32 05 Plastic Laminate Casework	1	ls	\$6,488.00	\$6,488	
12 32 05 Community Area Lower Cabs	13	lf		Included	
12 32 05 Community Area PLAM Countertops	26	asf		Included	
12 32 05 Community Area Upper Cabs	12	lf		Included	
21 00 00 Fire Suppression					\$1,400
21 13 00 Fire-Suppression Sprinkler Systems					\$1,400
21 13 13 Relocate Sprinkler Heads	2	ea	\$700.00	\$1,400	
23 00 00 Heating, Ventilating, and Air Conditioning					\$3,750
23 01 00 Heating, Ventilating, and Air Conditioning					\$3,750
23 01 10 HVAC Add exhaust fan and supply diffuser for copier	1	ls	\$3,750.00	\$3,750	
<i>EF-2 is figured with 50 linear feet of round duct an 8, since exact routing is TBD.</i>					
26 00 00 Electrical					\$2,216
26 01 00 Electrical & Low Voltage					\$2,216
26 01 30 Electrical & Low Voltage	1	ls	\$2,215.54	\$2,216	
26 01 30 Data Systems CAT6	0			Included	
26 01 30 Security System	0			Excluded	
26 01 50 Fire Alarm	0			Excluded	

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
Estimate Name: SD Estimate | Community Area
Client Name: Windsor Charter Academy
Heated SF: 105
Site SF: 0
Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
DIRECT COST SUBTOTAL					\$17,181

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Restroom
 Client Name: Windsor Charter Academy
 Heated SF: 116
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
02 00 00 Existing Conditions					\$1,550
02 41 00 Demolition					\$1,550
02 41 13 Demolition	1	ls	\$1,550.00	\$1,550	
03 00 00 Concrete					\$750
03 32 00 Concrete Slabs					\$750
03 31 10 Concrete Patchback for Trench	1	ls	\$750.00	\$750	
07 00 00 Thermal and Moisture Protection					\$153
07 19 00 Barriers & Repellents					\$58
07 19 15 Unit Air Sealing Blower Door Prep	116	hsf	\$0.50	\$58	
07 21 00 Thermal Insulation					\$95
07 21 01 Sound Batts New Wall Framing	95	asf	\$1.00	\$95	
08 00 00 Openings					\$1,701
08 12 00 Doors, Frames & Hardware					\$1,701
08 12 05 Commercial Doors, Frames & Hardware	1	ea	\$1,701.00	\$1,701	
09 00 00 Finishes					\$9,780
09 21 00 Gypsum Board Systems					\$7,127
09 21 20 Metal Framing & Drywall	322	asf	\$21.68	\$6,982	
09 21 25 Acoustical Sealant Allowance	116	asf	\$1.25	\$145	
09 61 00 Flooring					\$1,743
09 61 02 New Floor Tile	116	asf	\$15.00	\$1,743	
09 91 00 Painting					\$850
09 91 23 Painting Interior	1	ls	\$850.00	\$850	
09 98 00 Final Cleaning					\$59
09 98 01 Final Cleaning	0	hsf	\$INF	\$59	
10 00 00 Specialties					\$2,250
10 28 00 Toilet, Bath, and Laundry Accessories					\$2,250
10 28 05 Toilet Accessories - Commercial	1	set	\$2,250.00	\$2,250	
21 00 00 Fire Suppression					\$368
21 13 00 Fire-Suppression Sprinkler Systems					\$368
21 13 13 Add Sprinkler Heads	1	ea	\$367.50	\$368	
22 00 00 Plumbing					\$9,188
22 01 00 Plumbing System					\$9,188
22 01 05 Plumbing	1	ls	\$9,187.50	\$9,188	
22 01 05 Existing restroom fixtures will remain in same location.	0			Included	
22 01 05 Existing water and waste lines are adequately sized and accessible.	0			Included	
22 01 05 Locates for existing plumbing	0			Included	
22 01 05 Excavate & backfill for underground plumbing	0			Included	
22 01 05 Solid core PVC waste and vent piping from within 10' of new fixtures.	0			Included	
22 01 05 Pex water piping from within 10' of new fixtures.	0			Included	

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Restroom
 Client Name: Windsor Charter Academy
 Heated SF: 116
 Site SF: 0
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
22 01 05 Pipe insulation for all new water piping only	0			Included	
22 01 05 Fixtures as follows: (1) ADA tank type toilet, (1) drop-in lavatory w/ sensor faucet and trap wrap, (1) point of use electric water heater, (1) 2" floor drain & (1) wall cleanout	0			Included	
23 00 00 Heating, Ventilating, and Air Conditioning					\$800
23 01 00 Heating, Ventilating, and Air Conditioning					\$800
23 01 10 HVAC Add a supply diffuser to new bathroom and reuse existing exhaust fan	1	ls	\$800.00	\$800	
26 00 00 Electrical					\$1,557
26 01 00 Electrical & Low Voltage					\$1,557
26 01 30 Electrical & Low Voltage	1	ls	\$1,557.17	\$1,557	
26 01 30 Data Systems CAT6	0			Included	
26 01 30 Security System	0			Excluded	
26 01 50 Fire Alarm	0			Excluded	
DIRECT COST SUBTOTAL					\$28,096

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
 Estimate Name: SD Estimate | Precon, GC's & Allowances
 Client Name: Windsor Charter Academy
 Heated SF: 3,320
 Site SF:
 Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
00 00 00 Preconstruction					\$10,115
00 10 00 Professional Services					\$1,355
00 10 01 Hazardous Materials Testing - Asbestos	1	ls	\$1,354.70	\$1,355	
00 31 00 Preconstruction Services					\$8,760
00 31 13 Preconstruction Services Concept	1	ls	\$2,280.00	\$2,280	
00 31 13 Preconstruction Services SD	1	ls	\$3,240.00	\$3,240	
00 31 13 Preconstruction Services CD	1	ls	\$3,240.00	\$3,240	
01 00 00 General Conditions					\$39,061
01 10 00 Supervision (Staff count/Hrs per wk/% of Dur)					\$26,575
01 10 05 Construction Manager 1/.5/100	10	wks	\$70.00	\$700	
01 10 10 Project Manager 1/4/100	11	wks	\$763.64	\$8,400	
01 10 11 Assist Project Manager 1/4/100	10	wks	\$320.00	\$3,200	
01 10 17 Assistant Superintendent 1/10/100	23	wks	\$486.96	\$11,200	
01 10 19 Quality Control Manager 1/.5/100	10	wks	\$47.50	\$475	
01 10 25 Skilled Labor 1/4/100	10	wks	\$260.00	\$2,600	
01 11 00 Field Expenses					\$2,481
01 11 50 Field Expenses Internet, Computer, Software, Phone, Vehicles	3	mo	\$827.00	\$2,481	
01 12 00 Drawing & Reproduction					\$800
01 12 30 Drawing & Reproduction	1	ea	\$500.00	\$500	
01 12 32 As Built Drawings & Records	1	ea	\$300.00	\$300	
01 57 00 Safety					\$975
01 57 01 Safety Equipment	3	mo	\$25.00	\$75	
01 57 02 3rd Party Safety Inspections	3	ea	\$300.00	\$900	
01 58 00 Project Identification					\$100
01 58 13 Temporary Project Signage	1	ls	\$100.00	\$100	
01 74 00 Cleaning and Waste Management					\$7,300
01 74 13 Progress Cleaning	40	hours	\$45.00	\$1,800	
01 74 19 Construction Waste Management	11	ea	\$500.00	\$5,500	
01 78 00 Closeout					\$830
01 78 13 Punch list	8	hrs	\$65.00	\$520	
01 78 23 Operation and Maintenance Manual - Digital	1	ea	\$310.00	\$310	
99 00 00 General Allowances					\$500
99 13 00 Weather Protection					\$500
99 13 01 Weather Protection Temp Openings	1	ls	\$500.00	\$500	
99 14 00 Temporary Utilities					\$0
99 14 01 Temporary Electricity	0	mo		By Owner	
99 14 02 Temporary Gas	0	mo		By Owner	
99 14 03 Temporary Water	0	mo		By Owner	

Project Name: Windsor Charter Academy - HS Remodel Summer 2024
Estimate Name: SD Estimate | Precon, GC's & Allowances
Client Name: Windsor Charter Academy
Heated SF: 3,320
Site SF:
Duration: 2.25 Months



Estimate Detail

	QTY	UOM	UNIT RATE	SUBTOTAL	Total
DIRECT COST SUBTOTAL					\$49,676